

RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:

Gavilan Springs Homeowners Association
c/o Christy Williams
1535 S "D" Street, Suite 200
San Bernardino, CA 92408

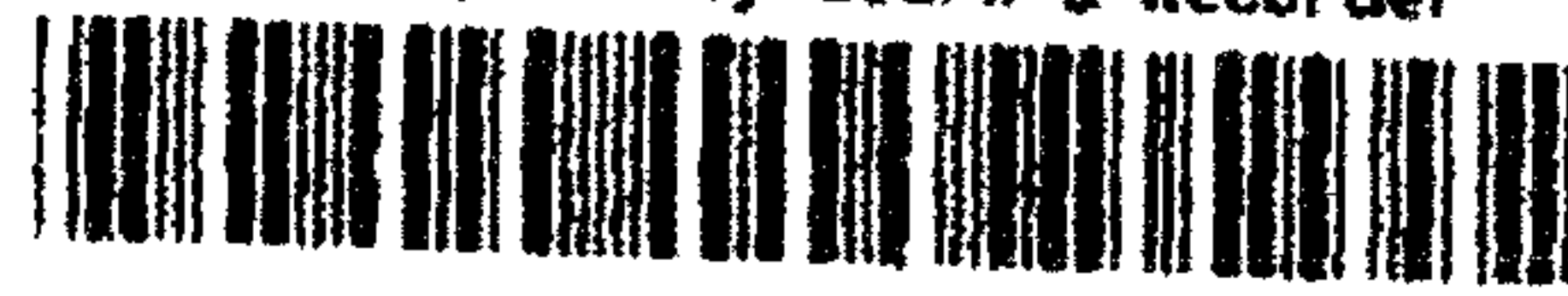
06/01/2004 08:00A Fee:36.00

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Recorded in Official Records
County of Riverside

Gary L. Orso

Assessor, County Clerk & Recorder



Same as Above

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Determining Tax -- Firm Name

APN: 321-230-013-9
TRA: 087-041

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED HEREIN BY
REFERENCE.

**CENTURY CROWELL SANTA ROSA, LLC, a
California limited liability company**

By: CENTURY CROWELL COMMUNITIES, L.P.,
a California limited partnership,
Its Managing Member

By: CENTURY HOMES COMMUNITIES,
a California corporation,
Its General Partner

Bv

David J. Miller,
Assistant Secretary

Description: Riverside, CA Document-Year.DocID 2004.413567 Page: 1 of 4
Order: 00000010051 Comment:

EXHIBIT "A"

Legal Description

That certain real property situated in the County of Riverside, State of California, described as follows:

Lots 45, 46, 47 and 48 of Tract 24284, as shown by map on file in Book 346, Pages 44 through 50, inclusive of Maps, Records of Riverside County, California.

EXCEPT from said land, an undivided 1/16th of all coal, oil, oil shale, gas, phosphate, sodium and other mineral deposits in said land, as reserved to the State of California by the provisions of an act of legislature, Statutes of 1921, page 404, and amendments thereto.

ALSO EXCEPT 1/16th of all oil, gas, minerals and other hydrocarbon substances in and to the royalties therefrom, if any, provided however, without the right to surface entry, as reserved from deed from Josephine Loftus, a single woman, Frances Loftus Bear, a married woman, and Mary Frances Beal, a single woman, recorded April 28, 1965 as Instrument No. 49123, Official Records.

SUBJECT TO:

1. The Master Declaration of Covenants, Conditions and Restrictions for Gavilan Springs Homeowners Association recorded February 22, 2001, as Instrument No. 2001-069545, Records of Riverside County, California ("Declaration"), and any amendments to the Declaration, which Declaration is incorporated herein by reference;

2. The Supplemental Declaration of Covenants, Conditions and Restrictions and Annexation for Phase 3 of Gavilan Springs Homeowners Association, recorded November 26, 2003, as Instrument No. 2003-934926, Records of Riverside County California, which Supplemental Declaration is incorporated herein by reference, and

3. Covenants, conditions, restrictions, easements, reservations, rights, declarations, and rights-of-way of record.

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

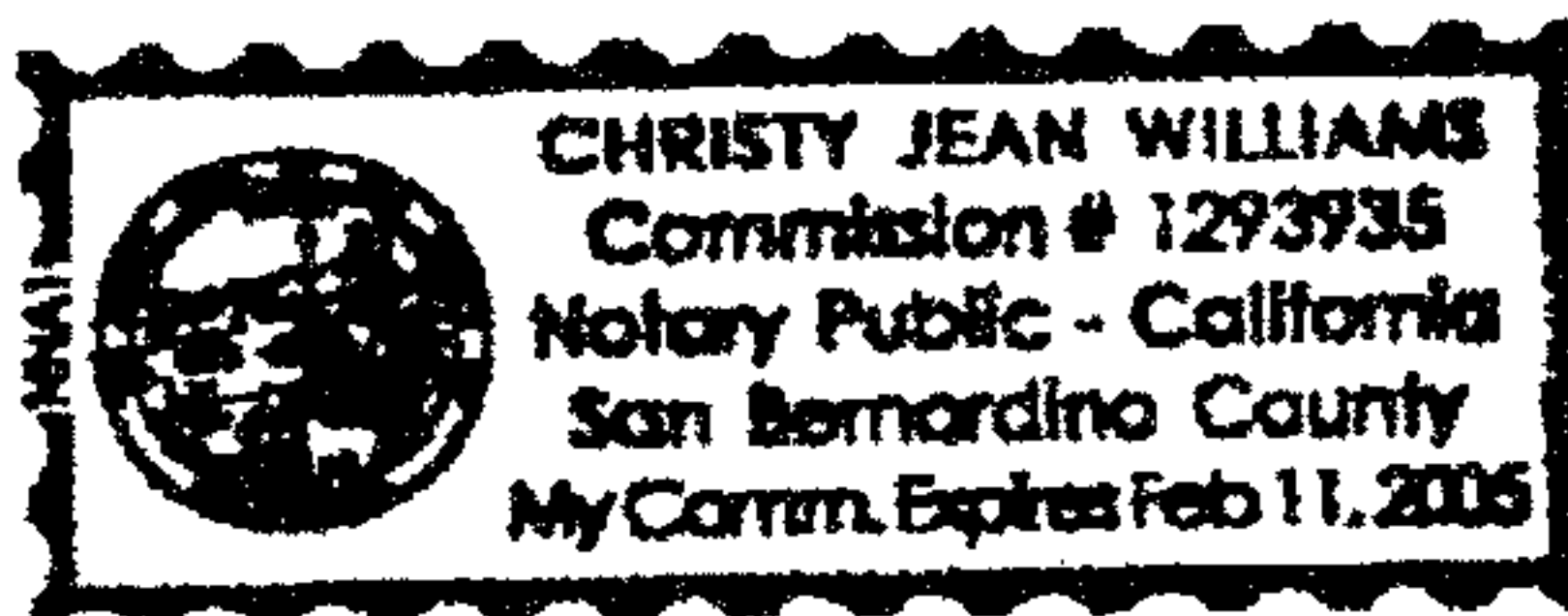
STATE OF CALIFORNIA)
) ss.
COUNTY OF SAN BERNARDINO)

On this 29th day of June, 2001 before me, Christy Jean Williams, Notary Public, personally appeared David J. Miller, personally known to me, to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.

Christy Jean Williams
Signature of Notary Public

this area for Official Notarial Seal

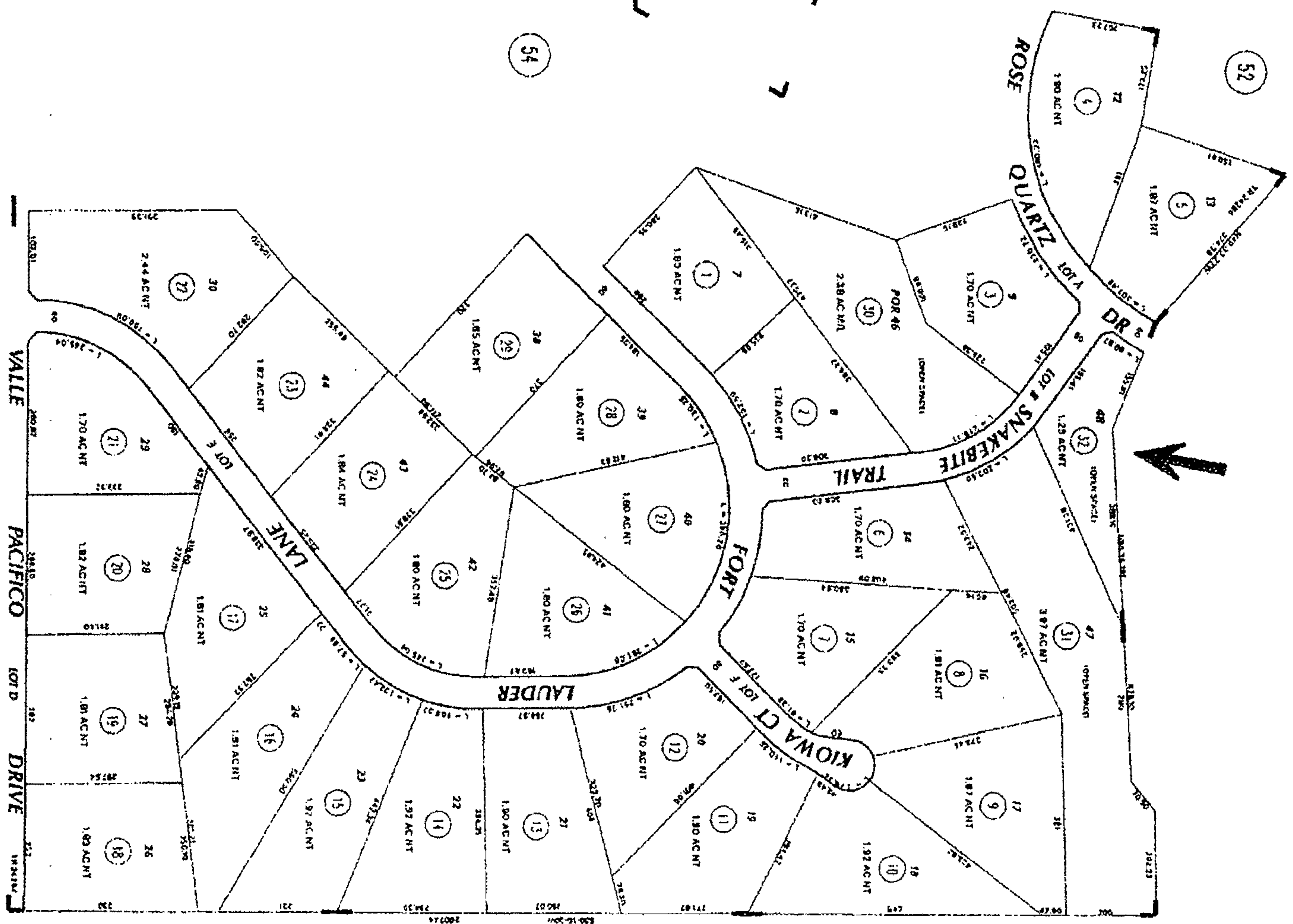


DOCUMENT TYPE
Grant Deed
Gavilan Springs Homeowners Association

ASSESSOR'S MAP 84289 P.O. 55
Riverside County, Calif.

MB 346/44-50 TRACT MAP NO. 24284

APR 2004



THIS MAP WAS PREPARED FOR ASSASSMENT PURPOSES ONLY. NO LIABILITY IS ASSURED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAP NOT COPY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

POR. SW 31 T. 4S. R. 4W

T. R. A. 087-041

321-23

289-55

1" = 720'
ACRES = 96

343
02

321
23

54

52

44